

SJB Architects  
Level 2, 490 Crown Street  
Surry Hills NSW  
2010 Australia  
T 61 2 9380 9911  
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Project Number: 5364  
Date: 08.08.2017  
Client: Meriton



## Contents

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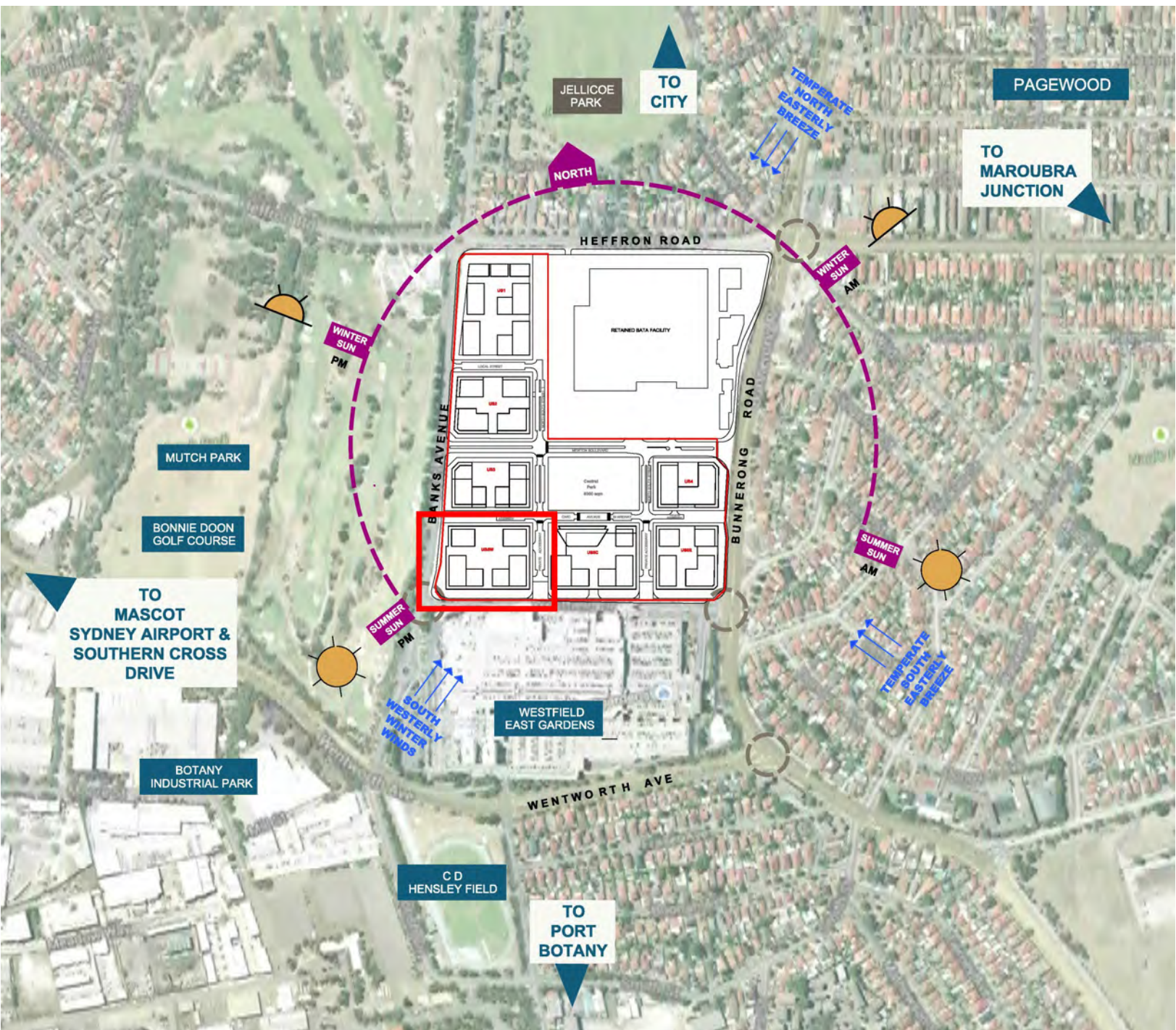
Summary	GFA	Apartment No.	Performance
Residential GFA	80,828.0	ST 10 20 30 40 50 60 70 80 90 100	250 381 49
Commercial GFA	4,036.0	0 20 40 60 80 100	300 338 44
Childcare	534.0	0% 1.0% 2.0% 3.0% 4.0% 5.0% 6.0%	
Basement	366.0		80% 70% 60%
Total GFA	81,728.0		
Target GFA	81,728.0		
GFA Difference	0.0	485	Apartment

Strategy								
	Studio	1B	1B+ST	2B	2B+ST	SB(110sqm)	SB(124sqm)	4 B
	0	20	51	228		13	71	3
		31%	69%	94%		6%	51%	1%
				243			146	7
Totals				485				
Av.		10%		12%		3%		1%

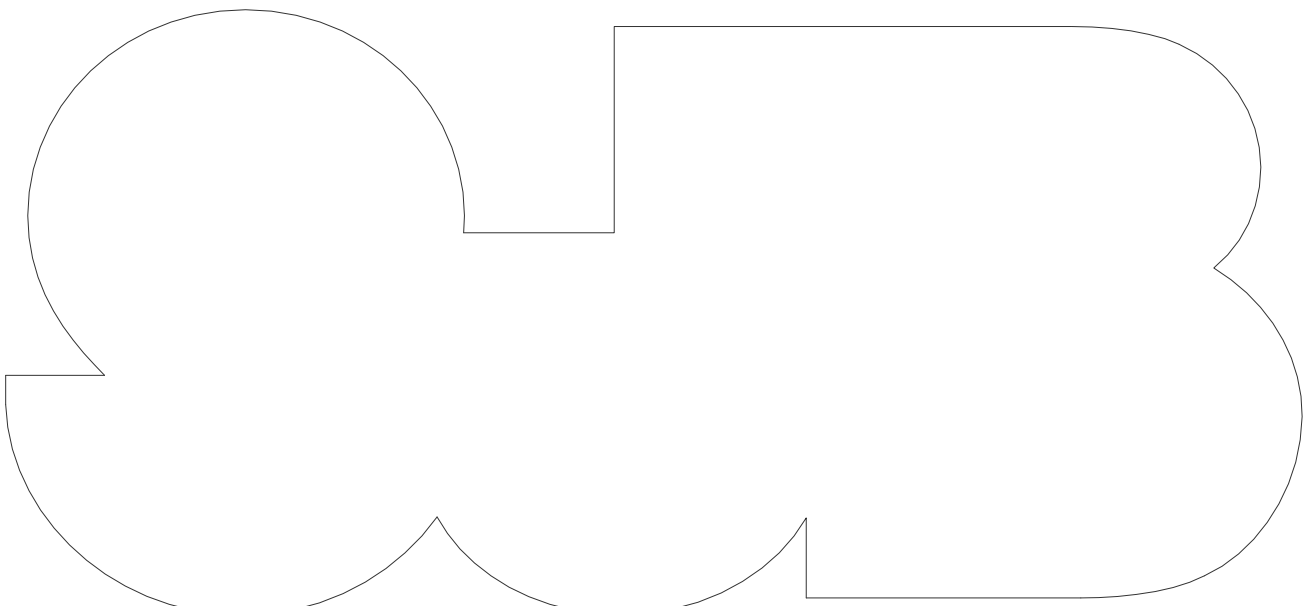
Parking Calculations		Parking spaces									
		ST	1B	1B+	2B	2B+	3B	3B+	4B		
		0.0	1.0	1.0	1.5	1.5	2.0	2.0	2.0		
Residential		0	28	61	342	23	150	142	14	760	
		89			365				292		
Individual Single Beds									226		
Individual Tandem Beds									517		
Allowance for Adaptable										17 spaces	
Other											
Visitors	1 per	10	Dwellings							48	
Car-Share										1	
Car Wash										1	
Services										1	
Childcare 1 per 2 Staff	17 staff						6.5			1	
Childcare 1 per 5 children	92 children						18.4			27	
Childcare Drop Off 1 per 20 children	92 children						4.6			5	
Bicycle		20% min Class 2								97	
		6% min Class 3								24	
Carparking Provided		Childcare		Services		Visitors		Residential			
	Start	Drop-off	Services Wash	Value	Car Share	Standard	Tandem	Access		Count	
Level	27	5	2	49	1	10	41	1	136		
Ground Floor						65	116	3	198		
Level 1						64	116	4	198		
Level 2						51	119	4	174		
Level 3						36	121	5	165		
Level 4											
Grand Total						226	517	20	847		

Thermal comfort		BASIX water inclusions	
Glazing Doors/windows	Aluminium framed single tint glazing to all units U-Value: 6.83 (equal to or lower than) SHGC: 0.54 (±10%)  Aluminium framed low-e tint glazing to units <b>as per assessor certificate</b> U-Value: 4.68 (equal to or lower than) SHGC: 0.39 (±10%) Given values are NFRC total window values	Appliances within units	Dishwashers: 4.5 star  Showerheads: Mid flow >6L but <=7.5 L/min Toilets: 4.0 star
		Fixtures within units	Kitchen taps: 4.0 star Bathroom vanity taps: 4.0 star
		Fixtures to common areas	Showerheads: Mid flow >6L but <=7.5 L/min Toilets: 4.0 star Vanity taps: 4.0 star
Roof	Concrete roof no insulation - Default colour	Pool & Spa	Pool to have a capacity no greater than 1800L Spa to have a capacity no greater than 6kL
Ceiling	Plasterboard ceiling, R2.0 insulation where exposed roof & balconies above  Plasterboard ceiling, R2.5 insulation where exposed roof & balconies are above <b>as per assessor certificate</b>  Plasterboard ceiling, no insulation where neighbouring units are above  Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and assume non-ventilated LED down lights.	Central rainwater storage	Tank size: 10,000L Collecting from 1300m2 roof area (non-trafficable roof area of building B & C) Connected to outdoor tap for irrigation of all landscaping.
		Fire Sprinkler System	Fire sprinkler system to be contained in a closed loop for reuse
External wall	150mm precast concrete walls with R1.5 insulation throughout Colourbacked glass spandrel with R1.5 insulation plasterboard lined internally Precast concrete spandrel with R1.5 insulation plasterboard lined internally	<b>BASIX energy inclusions</b>  Ventilation Communal Facilities – air conditioned – time clock or BMS controlled Changing rooms - Exhaust air - time clock or BMS controlled Car park area – supply & exhaust air with a carbon monoxide monitor & VSD fan Garbage room & bin shoots – Exhaust air, running continuously Plant or service rooms – Supply only, interlocked to light Ground floor lobbies – ventilation supply – time clock or BMS controlled Hallways – ventilation supply – time clock or BMS controlled	
Inter tenancy walls	75 mm hebel power panel wall – R1.7 (75mm) insulation to corridor walls Concrete to lift shaft and fire stairs walls with R1.7 insulation		
Walls with-in dwellings	Plasterboard on studs – no insulation		
Floors	Concrete – R1.2 floor insulation where floor is exposed as per assessor certificate: Concrete between levels no insulation		
Floor coverings	Carpet to bedrooms, living areas, tiles to wet areas and kitchens		
<b>BASIX energy inclusions</b>			
Hot water system	Central gas-fired boiler with R10 (–38mm) insulation to ring main and supply risers		
Lift motors	All lifts to have gearless traction with VVVF motor  At least 80% of all light fittings with in each room are to have fluorescent or LED globes.	Artificial lighting to common areas Communal Facilities – Compact fluorescent or LEDs with manual on / manual off switch Changing rooms - Compact fluorescent or LEDs with manual on / manual off switch Car park area - Fluorescent lights with zoned switching and motion sensors Lifts – LED lights connected to lift call button Garbage room & bin shoots – Fluorescent lights with motion sensor Plant or services rooms – Fluorescent lights with manual on / manual off switch Ground floor lobbies – LED downlights with zoned switching and motion sensors Hallways – LED downlights with zoned switching and motion sensors Lobbies & hallways to have low level lighting to remain on at all times	
Artificial lighting within units			
Appliances & other efficiency measures	Gas cooktop & electric oven Dishwashers: 3.5 star  Clothes dryers: 2.0 star Well ventilated fridge space		
Heating & cooling within units	All units to have individual, single phase, reverse cycle air conditioning to living areas and at least 1 bedroom. 2.0 stars is required in cooling mode & 2.5 stars heating mode - 1 & 2 bed apartments 2.0 stars is required in cooling mode & 3.0 stars heating mode - 3 bed apartments Day night zoning nominated		
Pool, Spa & Sauna	Pool & spa heating systems: Gas Pool and spa pumps to be controlled by a timer Saunas: gas heating – manual on / timer off		
Alternative energy	No BASIX requirement for alternative energy	Ventilation within units	Bathroom – Individual fan, ducted to roof or facade – manual on / manual off switch Laundry – individual fan, ducted to roof or facade – manual on / manual off switch Kitchen range hood – Individual fan, not ducted – manual on / manual off switch

## BASIX COMMITMENTS



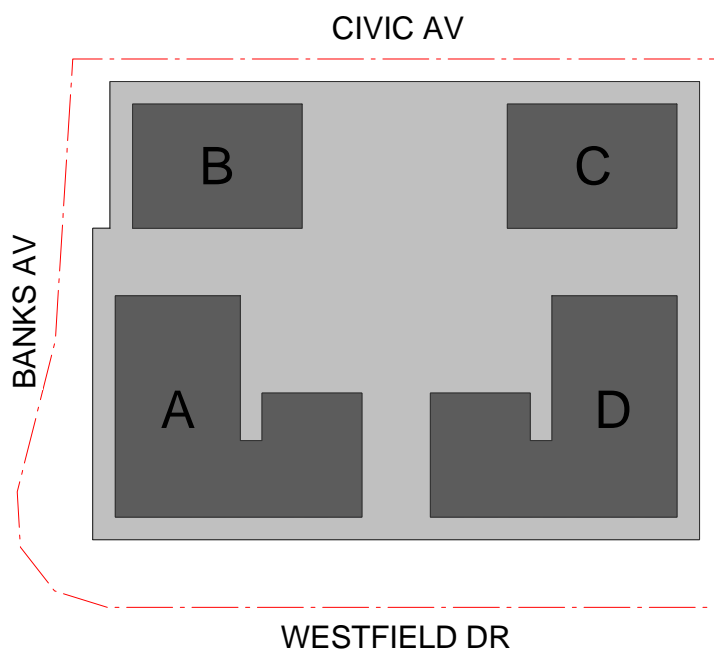
## SITE LOCATION





Rev	Date	Revision
1	28.08.2015	Competition Issue
2	16.11.2015	For Structural Review
3	02.12.2015	Design Review
4	08.12.2015	Draft For Coordination
5	10.12.2015	Design Review
6	15.12.2015	Design Review
8	23.12.2015	Design Review
9	06.01.2016	Design Review
10	13.01.2016	Design Review
11	15.01.2016	Final Draft DA
12	20.01.2016	Design Review
13	29.01.2016	DA ISSUE
21	20.05.2016	REVISED DA ISSUE
24	07.10.2016	Section 96
26	27.02.2017	Section 96 - Penthouse/Glazing/Carpark Stack Amendments

Building Key



Client



Project

Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

FLOOR PLAN - LEVEL 5



1 BED
1 BED + ST
1 BED LOFT
2 BED
2 BED+ST
2 BED LOFT
3 BED
3 BED + ST
CHILDCARE
4 BED LOFT
4 BED

Date	Scale	Sheet Size
27.02.2017	1 : 200	@ A1
Drawn	Chk.	
DS	NH	
Job No.	Drawing No.	Revision
5364	DA0205	/ 26

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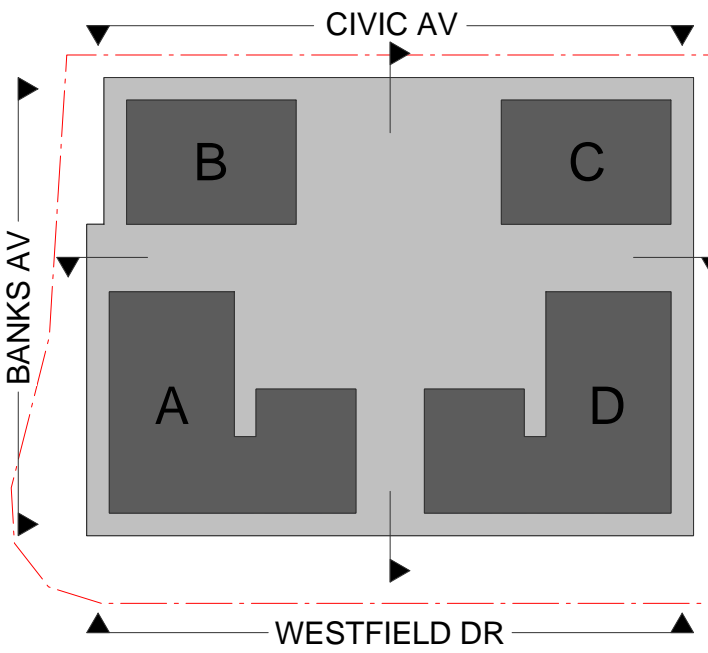




Rev	Date	Revision
26	27.02.2017	Section 96
27	30.03.2017	Section 96 - RL table added to plans
29	13.07.2017	Section 96 - Roof Terraces Adjusted - Canopies removed/ glass balustrade added to terrace perimeter in elevation/ detail elevation sheets added/ cross vent drawing adjusted
30	08.08.2017	Section 96 - Roof Terraces Amended - Lightweight canopies added

LEVEL	REDUCED LEVEL
Lv 15	69.400

Building Key



Client



Project

Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

FLOOR PLAN - LEVEL 15

0 2m 4m 10m  
1:200

Date Scale Sheet Size  
08.08.2017 1 : 200 @ A1

Drawn Chk.

Author Checker

Job No. Drawing No. Revision

5364 DA0215 / 30





Nominated Architects: Adam Haddow-7188 | John Pradel-7004

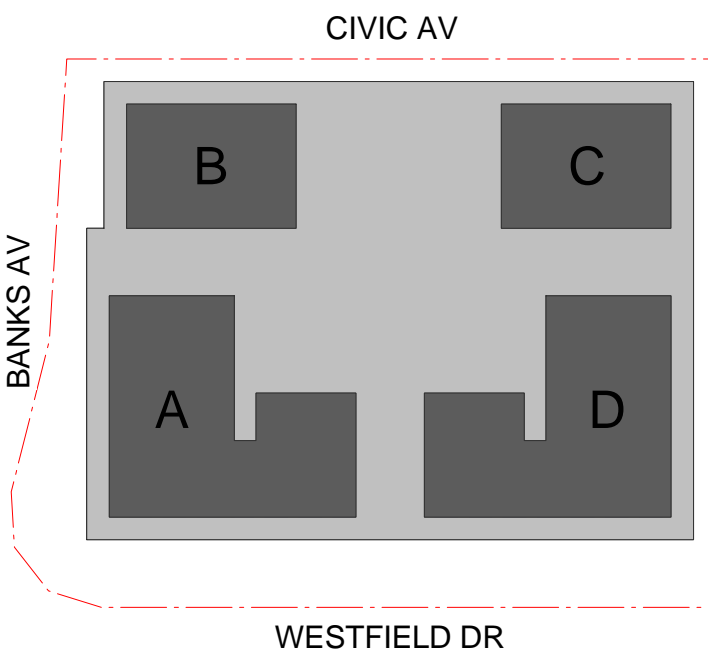
S96

Rev Date Revision

1	28.08.2015	Competition Issue
2	16.11.2015	For Structural Review
3	02.12.2015	Design Review
4	08.12.2015	Draft For Coordination
5	10.12.2015	Design Review
6	15.12.2015	Design Review
8	23.12.2015	Design Review
9	06.01.2016	Design Review
10	13.01.2016	Design Review
11	15.01.2016	Final Draft DA
12	20.01.2016	Design Review
13	29.01.2016	DA ISSUE
21	20.05.2016	REVISED DA ISSUE
24	07.10.2016	Section 96
25	25.01.2017	Section 96 - RL Amendments
26	27.02.2017	Section 96
27	30.03.2017	Section 96 - RL table added to plans
28	14.06.2017	Section 96 - Roof Terraces Amended
29	13.07.2017	Section 96 - Roof Terraces Adjusted - Canopies removed/ glass balustrade added to terrace perimeter in elevation/ detail elevation sheets added/ cross vent drawing adjusted
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LEVEL	REDUCED LEVEL
Lv 18	78.900
Lv 17	75.800
Lv 16	72.700

Building Key



Client



Project

Urban Block 5W

130-150 Bunnerong Road,  
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Drawing Name

FLOOR PLAN - LEVELS 16-18

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Date Scale Sheet Size  
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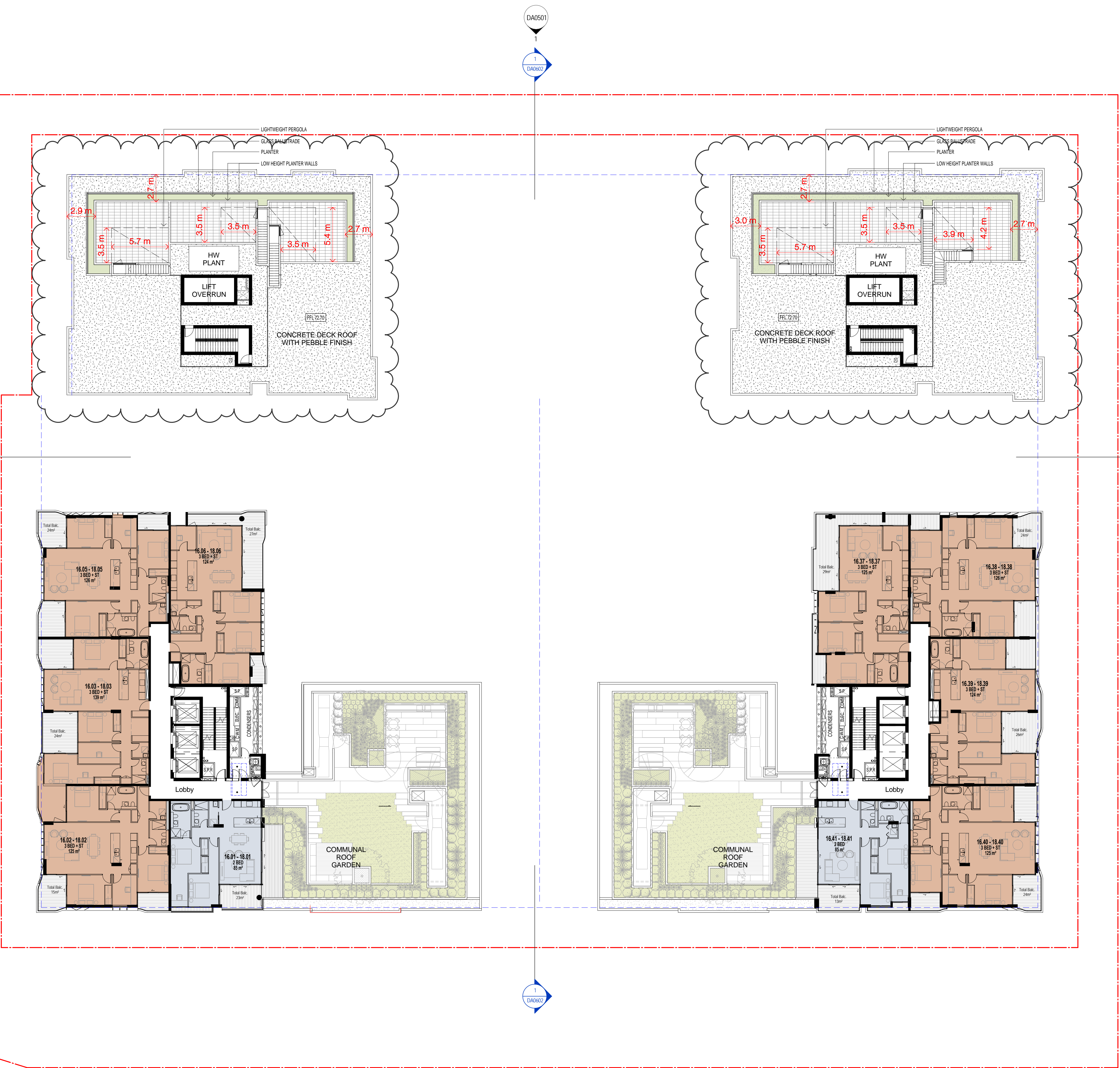
Drawn Chk.

DS NH

Job No. Drawing No. Revision

5364 DA0216 / 30

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DA0501

1  
DA0602

1  
DA0601

1  
DA0503

1  
DA0602

1  
DA0502

DA0504



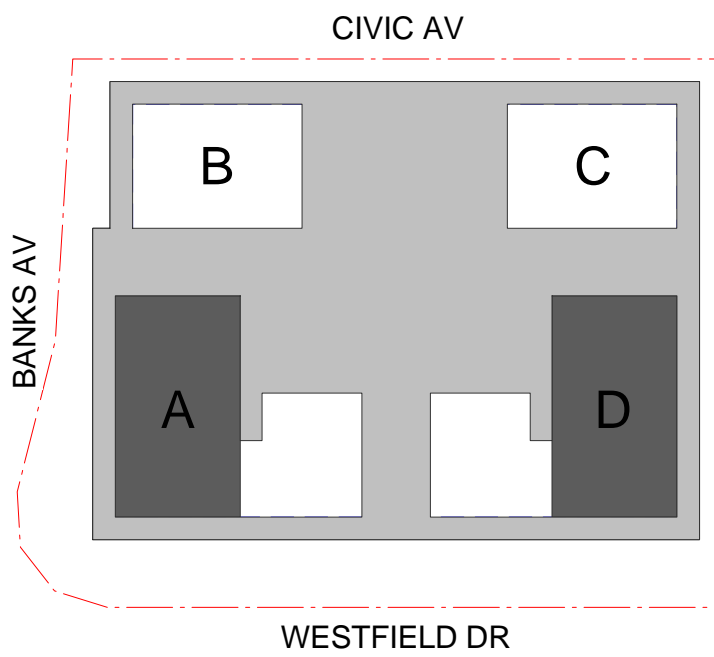
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

S96

Rev	Date	Revision
24	07.10.2016	Section 96
26	27.02.2017	Section 96
27	30.03.2017	Section 96 - RL table added to plans
29	13.07.2017	Section 96 - Roof Terraces Adjusted - Canopies removed/ glass balustrade added to terrace perimeter in elevation/ detail elevation sheets added/ cross vent drawing adjusted
30	08.08.2017	Section 96 - Roof Terraces Amended - Lightweight canopies added

LEVEL	REDUCED LEVEL
Lv 19	82.000

Building Key



Client



Project

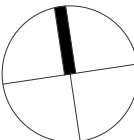
Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

FLOOR PLAN - LEVEL 19

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Drawn	Chk.
BR	NH

Job No.	Drawing No.	Revision
5364	DA0217	/ 30

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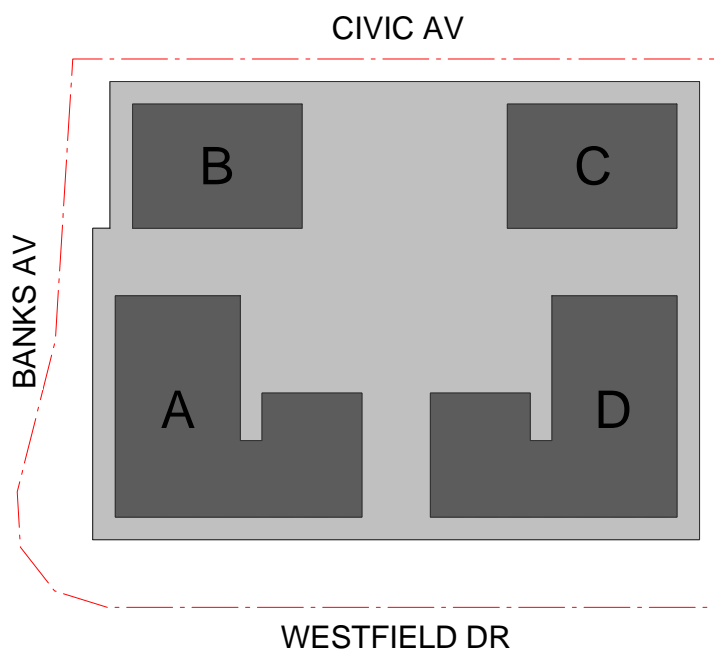




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6	15.12.2016	Design Review
8	23.12.2016	Design Review
9	06.01.2016	Design Review
10	13.01.2016	Design Review
11	15.01.2016	Final Draft DA
13	29.01.2016	DA ISSUE
21	20.05.2016	REVISED DA ISSUE
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27	30.03.2017	Section 96 - RL table added to plans
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LEVEL	REDUCED LEVEL
Roof	85.100

Building Key



Client



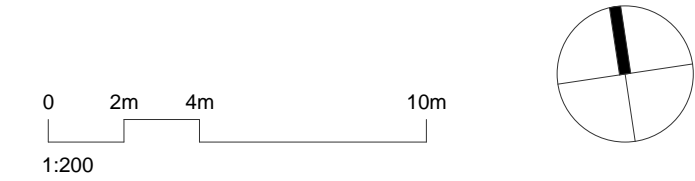
Project

Urban Block 5W

130-150 Bunnerong Road,  
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Drawing Name

FLOOR PLAN - ROOF



Date 08.08.2017 Scale 1 : 200 Sheet Size @ A1

Drawn Chk.

Author Checker

Job No. Drawing No. Revision

5364 DA0220 / 30

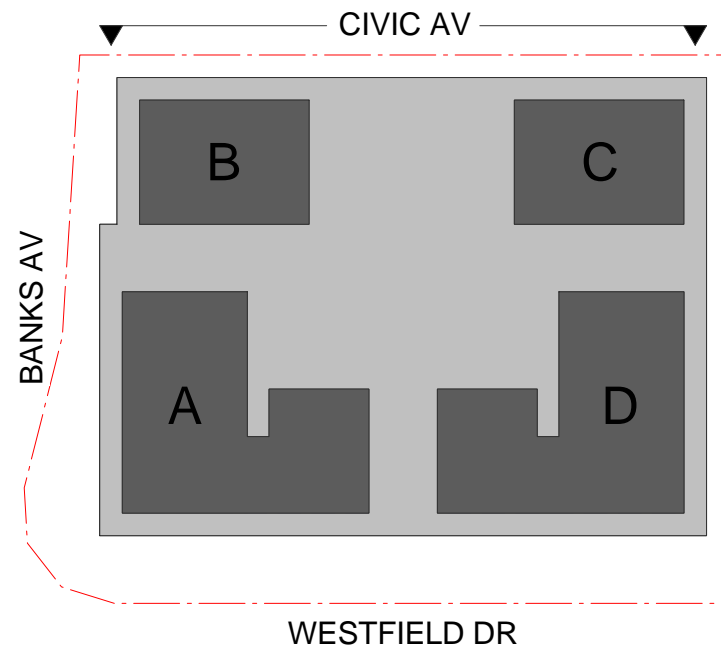




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30	08.08.2017	Section 96 - Roof Terraces Amended - Lightweight canopies added



Building Key



Client



Project

Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

ELEVATIONS - NORTH

0 2m 4m 10m

1:200

Date Scale Sheet Size  
08.08.2017 As indicated @ A1

Drawn Chk.  
JG NH

Job No. Drawing No. Revision  
5364 DA0501 / 30

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EXTERNAL FINISHES

<b>PAINT</b>		<b>SCREENS</b>	
PT1	External paint finish 1 applied to masonry (White)	SC1	Aluminium perforated (gold finish)
PT2	External paint finish 1 applied to masonry (Dark Grey)	SC2	Aluminium solid (gold finish)
PT3	External paint finish 1 applied to masonry (Black)	SC3	Aluminium perforated (white finish)
		SC4	Aluminium solid (white finish)
		SC5	Aluminium perforated (bronze finish)
		SC6	Aluminium battens (gold finish)
		SC7	Aluminium battens (dark grey finish)
<b>TILE</b>		<b>GLAZING</b>	
TL1	Roman brick (dark grey)	GL1	Clear glazing with aluminium frame (dark grey finish)
		GL2	Black Tinted glazing with aluminium frame (dark grey finish)
<b>CONCRETE</b>		<b>STEEL</b>	
C1	Precast concrete with penetrating paint finish or similar (White or Coloured TBC)	ST1	Steel with micaceous paint finish or similar (black)
C2	Textured concrete with penetrating paint finish or similar (Grey)		
<b>BALUSTRADE</b>			
B1	Vertical metal balustrade (gold)		
B2	Clear glass balustrade		



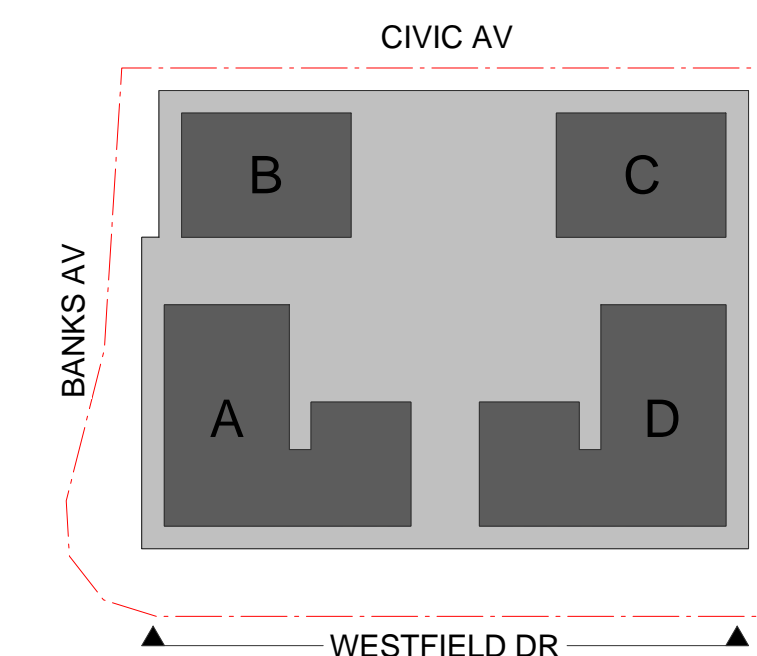
Nominated Architects: Adam Haddow-7188 | John Pradel-7004

Rev	Date	Revison
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KEY

Masterplan Outline

### Building Key



Client



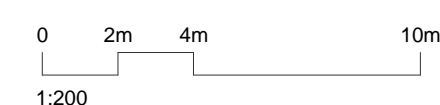
Project

Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

ELEVATIONS - SOUTH

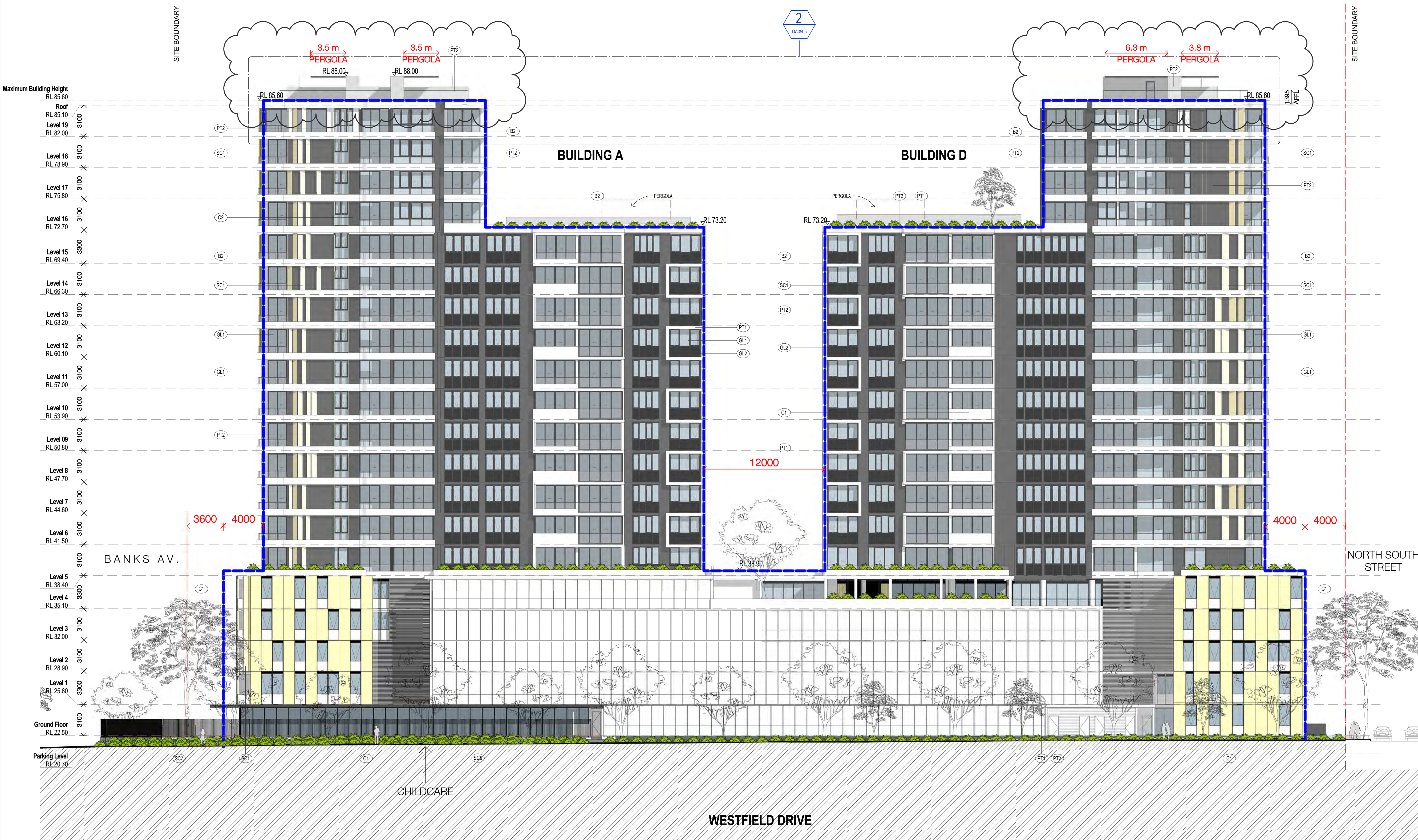


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Drawn	Chk.
Author	Checker

Job No.	Drawing No.	Revision
5364	DA0502	/ 30

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## EXTERNAL FINISHES

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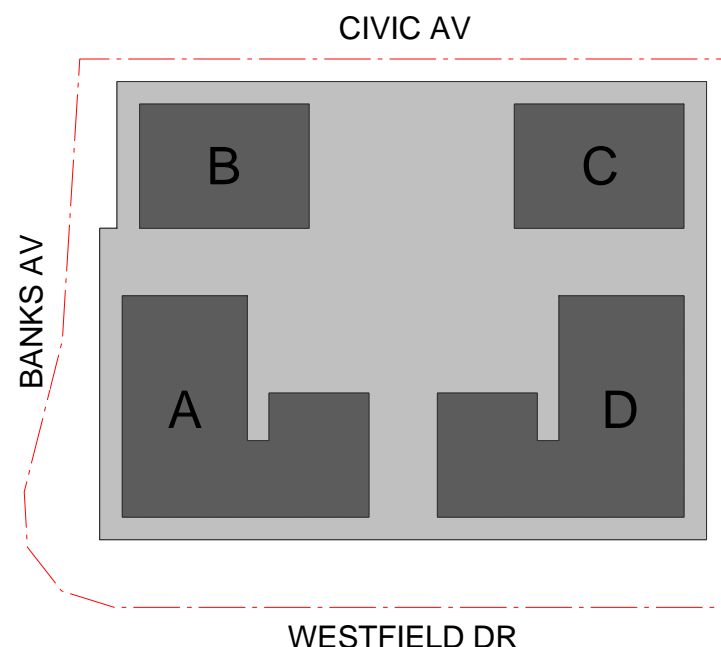


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KEY

Masterplan Outline

Building Key



Client



Project

Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

ELEVATIONS - EAST

0 2m 4m 10m

1:200

Date Scale Sheet Size  
08.08.2017 As indicated @ A1

Drawn Chk.

Author Checker

Job No. Drawing No. Revision  
5364 DA0503 / 30

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Maximum Building Height

Roof

Level 19

Level 18

Level 17

Level 16

Level 15

Level 14

Level 13

Level 12

Level 11

Level 10

Level 09

Level 8

Level 7

Level 6

Level 5

Level 4

Level 3

Level 2

Level 1

Ground Floor

Parking Level

WESTFIELD DRIVE

LINK PARK  
(BEYOND)

NORTH SOUTH STREET

## EXTERNAL FINISHES

### PAINT

PT1 External paint finish 1 applied to masonry (White)  
PT2 External paint finish 1 applied to masonry (Dark Grey)  
PT3 External paint finish 1 applied to masonry (Black)

### TILE

TL1 Roman brick (dark grey)

### CONCRETE

C1 Precast concrete with penetrating paint finish or similar (White or Coloured TBC)  
C2 Textured concrete with penetrating paint finish or similar (Grey)

### BALUSTRADE

B1 Vertical metal balustrade (gold)  
B2 Clear glass balustrade

### SCREENS

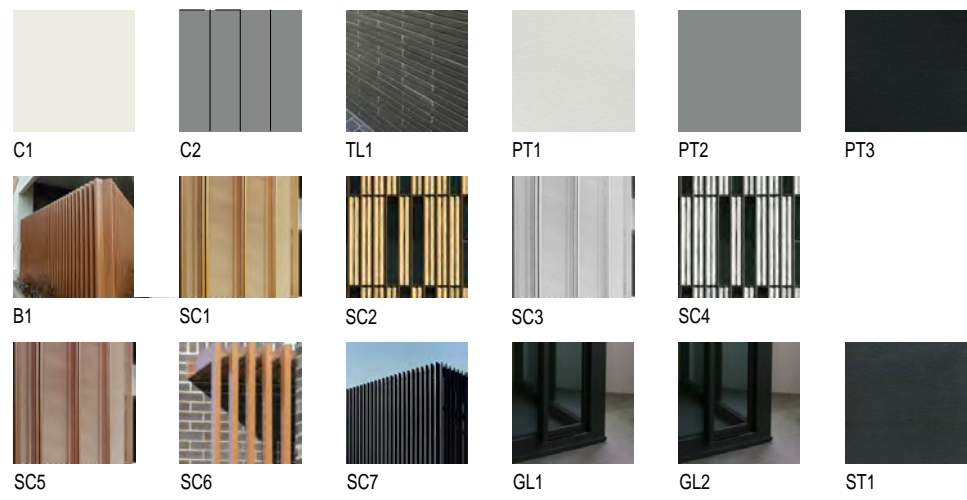
SC1 Aluminium perforated (gold finish)  
SC2 Aluminium solid (gold finish)  
SC3 Aluminium perforated (white finish)  
SC4 Aluminium solid (white finish)  
SC5 Aluminium perforated (bronze finish)  
SC6 Aluminium battens (gold finish)  
SC7 Aluminium battens (dark grey finish)

### GLAZING

GL1 Clear glazing with aluminium frame (dark grey finish)  
GL2 Black Tinted glazing with aluminium frame (dark grey finish)

### STEEL

ST1 Steel with micaceous paint finish or similar (black)

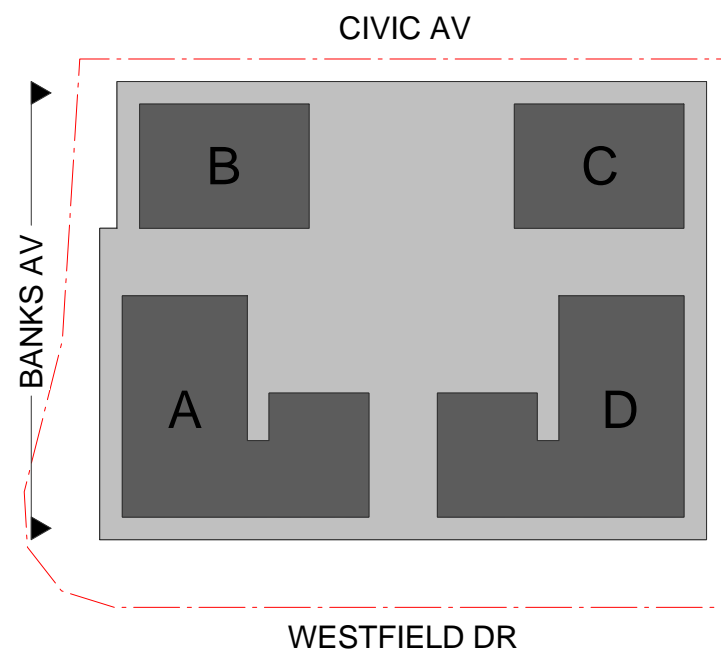




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30	08.08.2017	Section 96 - Roof Terraces Amended - Lightweight canopies added



Building Key



Client



Project

Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

ELEVATIONS - WEST

0 2m 4m 10m

1:200

Date Scale Sheet Size  
08.08.2017 As indicated @ A1

Drawn Chk.

Author Checker

Job No. Drawing No. Revision  
5364 DA0504 / 30

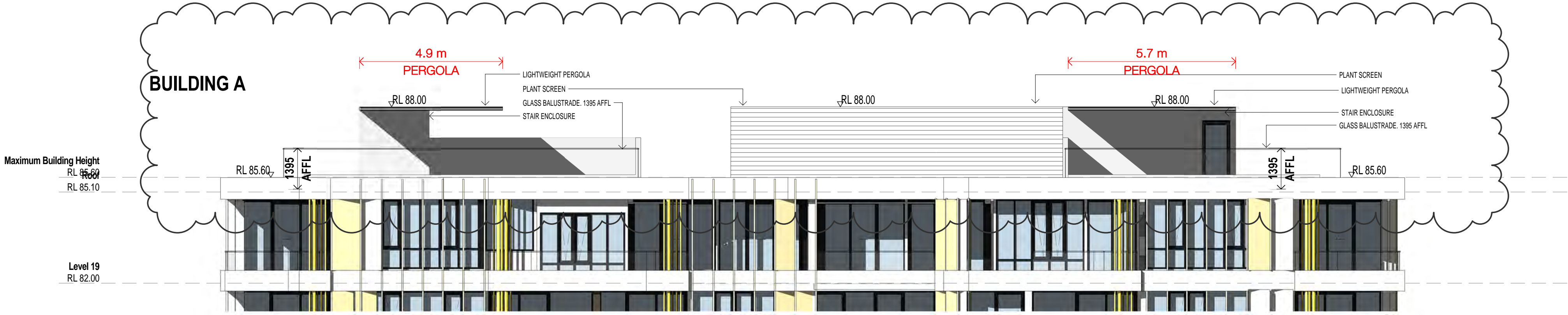
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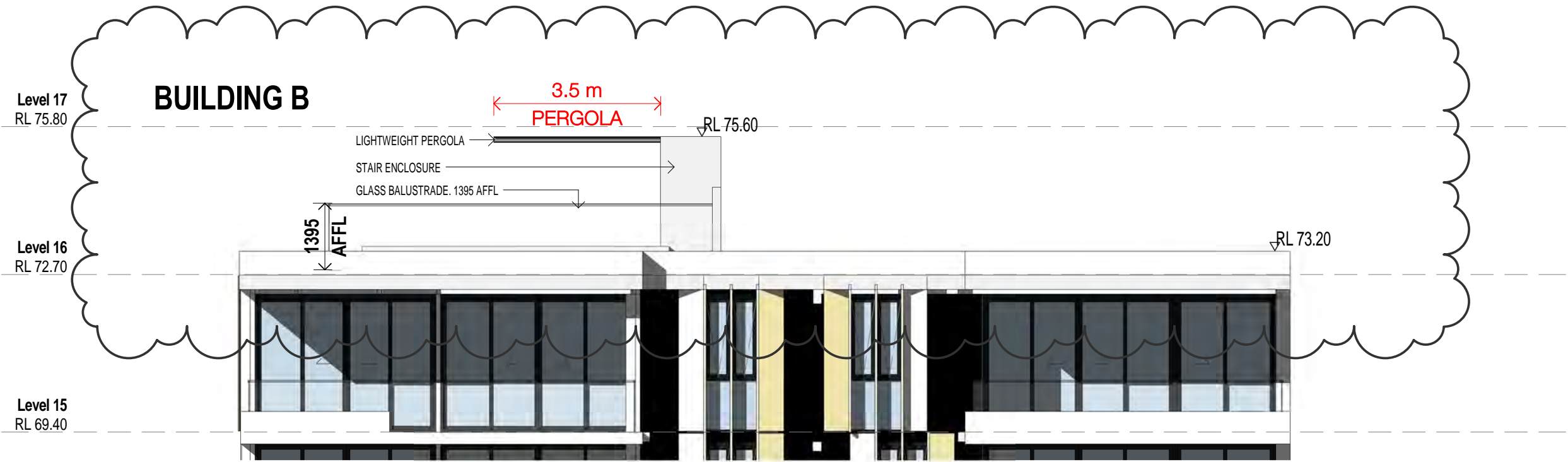
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PT2 External paint finish 1 applied to masonry (Dark Grey)		SC2 Aluminium solid (gold finish)	
PT3 External paint finish 1 applied to masonry (Black)		SC3 Aluminium perforated (white finish)	
		SC4 Aluminium solid (white finish)	
		SC5 Aluminium perforated (bronze finish)	
		SC6 Aluminium battens (gold finish)	
		SC7 Aluminium battens (dark grey finish)	
<b>TILE</b>		<b>GLAZING</b>	
TL1 Roman brick (dark grey)		GL1 Clear glazing with aluminium frame (dark grey finish)	
		GL2 Black Tinted glazing with aluminium frame (dark grey finish)	
<b>CONCRETE</b>		<b>STEEL</b>	
C1 Precast concrete with penetrating paint finish or similar (White or Coloured TBC)		ST1 Steel with micaceous paint finish or similar (black)	
C2 Textured concrete with penetrating paint finish or similar (Grey)			
<b>BALUSTRADE</b>			
B1 Vertical metal balustrade (gold)			
B2 Clear glass balustrade			





2  
DA0504  
West Elevation - Building A  
1 : 100@A1



1  
DA0504  
West Elevation - Building B  
1 : 100@A1



3  
DA0503  
East Elevation - Building C  
1 : 100@A1

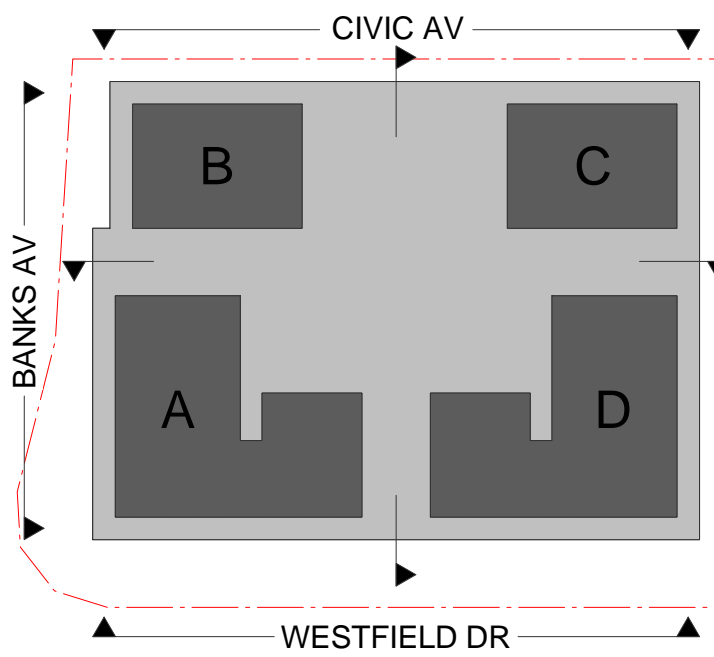
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Nominated Architects: Adam Haddow-7188 | John Pradel-7004

S96

Rev	Date	Revision
29	13.07.2017	Section 96 - Roof Terraces Adjusted - Canopies removed/ glass balustrade added to terrace perimeter in elevation/ detail elevation sheets added/ cross vent drawing adjusted
30	08.08.2017	Section 96 - Roof Terraces Amended - Lightweight canopies added

Building Key



Client



Project

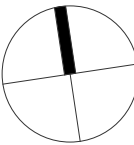
Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

ELEVATIONS - ROOF DETAIL

0 2m 4m 10m  
1:200



Date Scale Sheet Size  
08.08.2017 1 : 100 @ A1

Drawn Chk.

Author Checker

Job No. Drawing No. Revision

5364 DA0506 / 30

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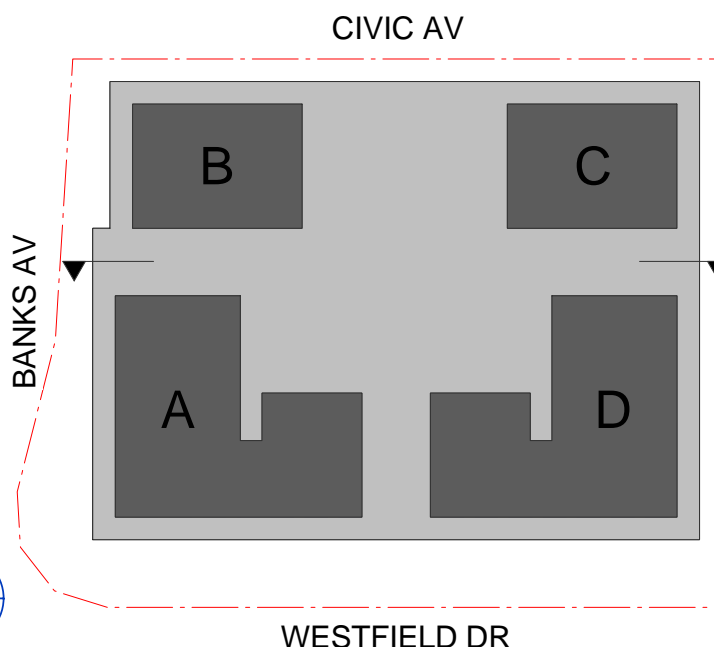


Rev	Date	Revision
1	28.08.2015	Competition Issue
4	08.12.2015	Draft For Coordination
6	15.12.2015	Design Review
8	23.12.2015	Design Review
10	13.01.2016	Design Review
11	15.01.2016	Final Draft DA
13	29.01.2016	DA ISSUE
21	20.05.2016	REVISED DA ISSUE
24	07.10.2016	Section 96
25	25.01.2017	Section 96 - RL Amendments
26	27.02.2017	Section 96
28	14.06.2017	Section 96 - Roof Terraces Amended
29	13.07.2017	Section 96 - Roof Terraces Adjusted - Canopies removed, glass balustrade added to terrace perimeter in elevation/ detail elevation sheets added/ cross vent drawing adjusted
30	08.08.2017	Section 96 - Roof Terraces Amended - Lightweight canopies added

KEY

Masterplan Outline

Building Key



Client

BANKS AV.



Project

Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

SECTIONS

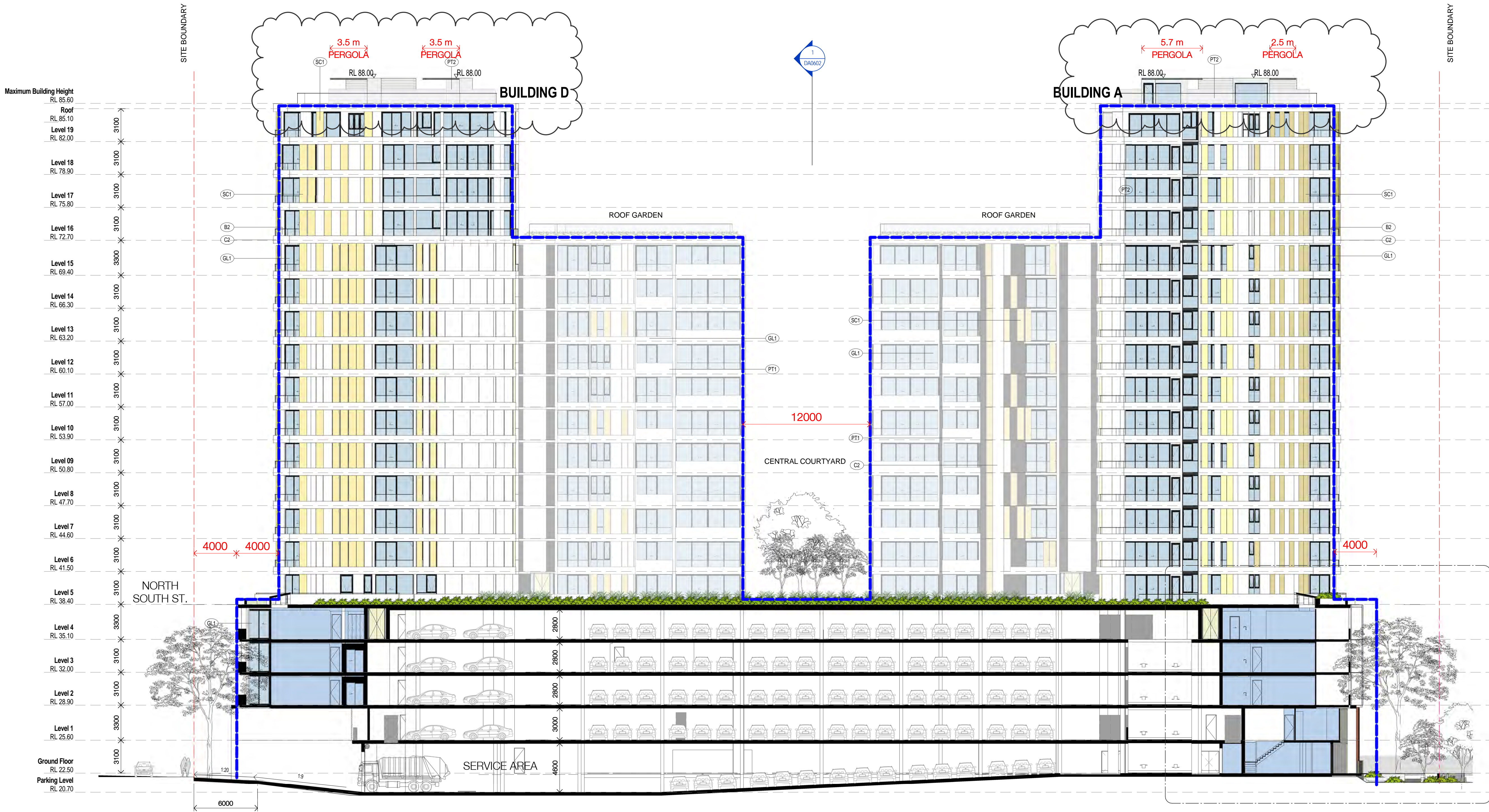
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1:200

Date Scale Sheet Size  
08.08.2017 As indicated @ A1

Drawn Chk.  
DS NH

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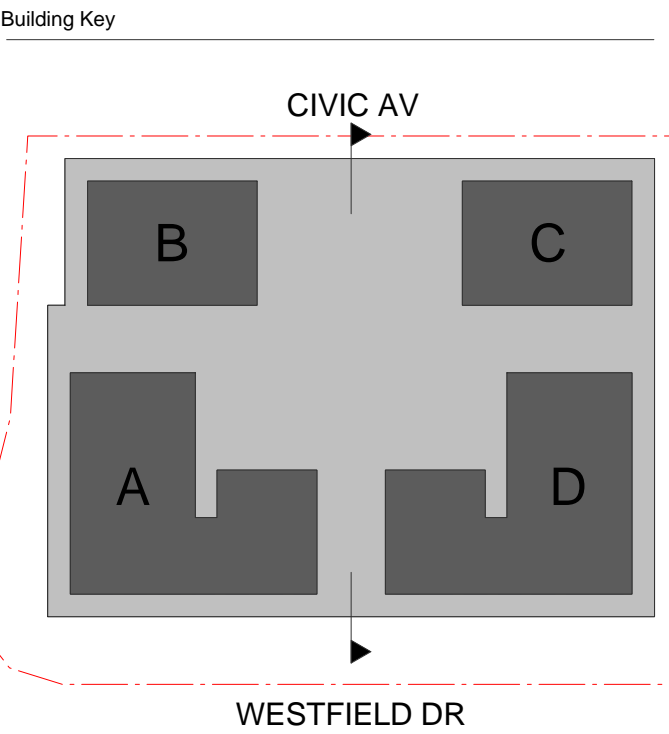
1 Section - Building A & D  
A-0000-A 1 : 200@A1

EXTERNAL FINISHES

<b>PAINT</b> PT1 External paint finish 1 applied to masonry (White) PT2 External paint finish 1 applied to masonry (Dark Grey) PT3 External paint finish 1 applied to masonry (Black)	<b>SCREENS</b> SC1 Aluminium perforated (gold finish) SC2 Aluminium solid (gold finish) SC3 Aluminium perforated (white finish) SC4 Aluminium solid (white finish) SC5 Aluminium perforated (bronze finish) SC6 Aluminium battens (gold finish) SC7 Aluminium battens (dark grey finish)	<b>TILE</b> TL1 Roman brick (dark grey)	<b>GLAZING</b> GL1 Clear glazing with aluminium frame (dark grey finish) GL2 Black tinted glazing with aluminium frame (dark grey finish)	<b>STEEL</b> ST1 Steel with micaceous paint finish or similar (black)
<b>CONCRETE</b> C1 Precast concrete with penetrating paint finish or similar (White or Coloured TBC) C2 Textured concrete with penetrating paint finish or similar (Grey)	<b>BALUSTRADE</b> B1 Vertical metal balustrade (gold) B2 Clear glass balustrade			



Rev	Date	Revision
4	08.12.2015	Draft For Coordination
6	15.12.2015	Design Review
8	23.12.2015	Design Review
10	13.01.2016	Design Review
11	15.01.2016	Final Draft DA
13	28.01.2016	DA ISSUE
21	20.05.2016	REVISED DA ISSUE
25	25.01.2017	Section 96 - RL Amendments
26	27.02.2017	Section 96
28	14.06.2017	Section 96 - Roof Terraces Amended
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30	08.08.2017	Section 96 - Roof Terraces Amended - Lightweight canopies added



Project

Urban Block 5W

130-150 Bunnerong Road,  
Pagewood

Drawing Name

SECTIONS

0 2m 4m 10m

1:200

Date Scale Sheet Size

08.08.2017 As indicated @ A1

Drawn Chk.

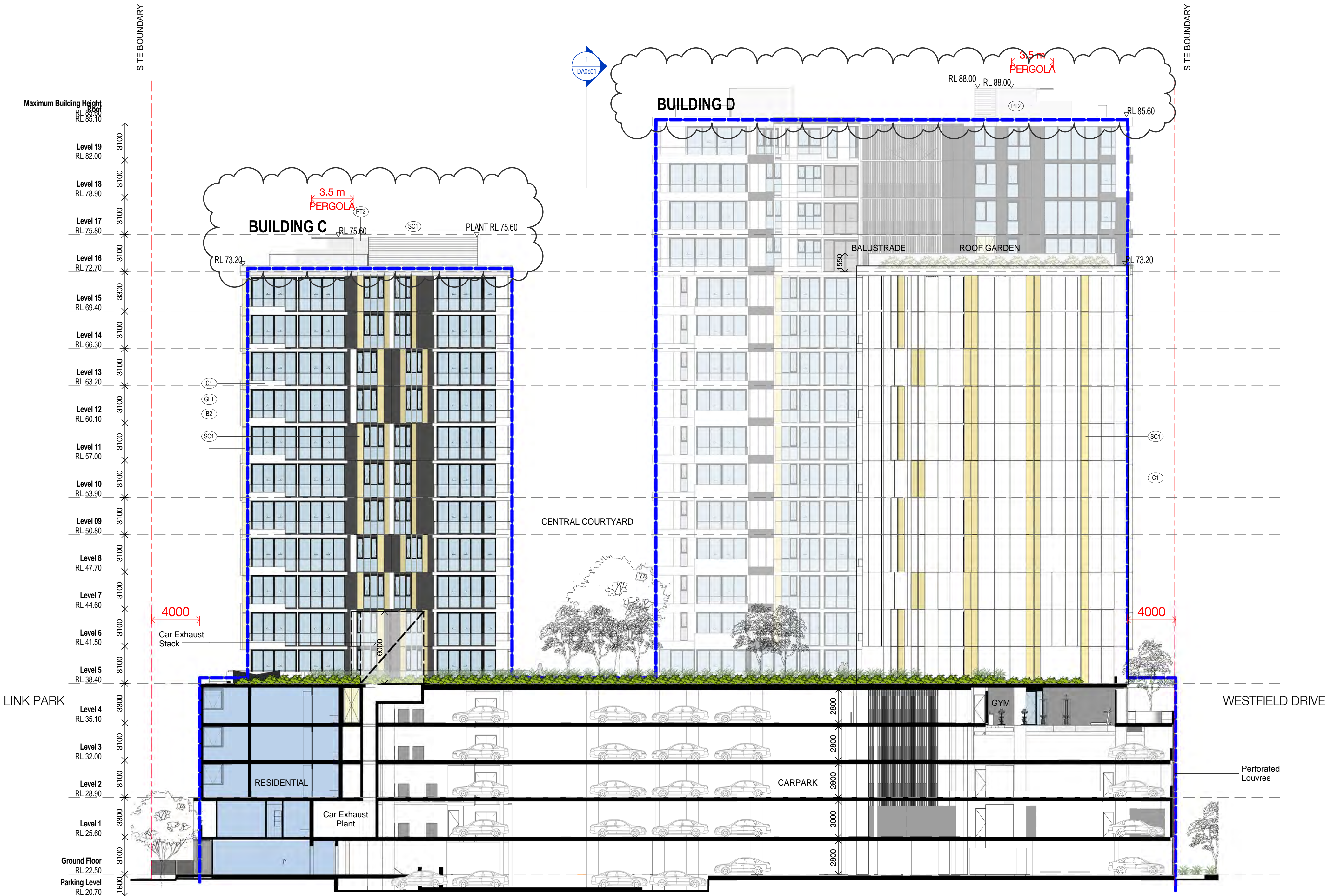
Author Checker

Job No. Drawing No. Revision

5364 DA0602 / 30

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1 Section - Building A & C

A-0000-A 1 : 200@A1

EXTERNAL FINISHES

PAINT

PF1 External paint finish 1 applied to masonry (White)  
PT2 External paint finish 1 applied to masonry (Dark Grey)  
PT3 External paint finish 1 applied to masonry (Black)

TILE

TL1 Roman brick (dark grey)

CONCRETE

C1 Precast concrete with penetrating paint finish or similar (White or Coloured TBC)  
C2 Textured concrete with penetrating paint finish or similar (Grey)

BALUSTRADE

B1 Vertical metal balustrade (gold)  
B2 Clear glass balustrade

SCREENS

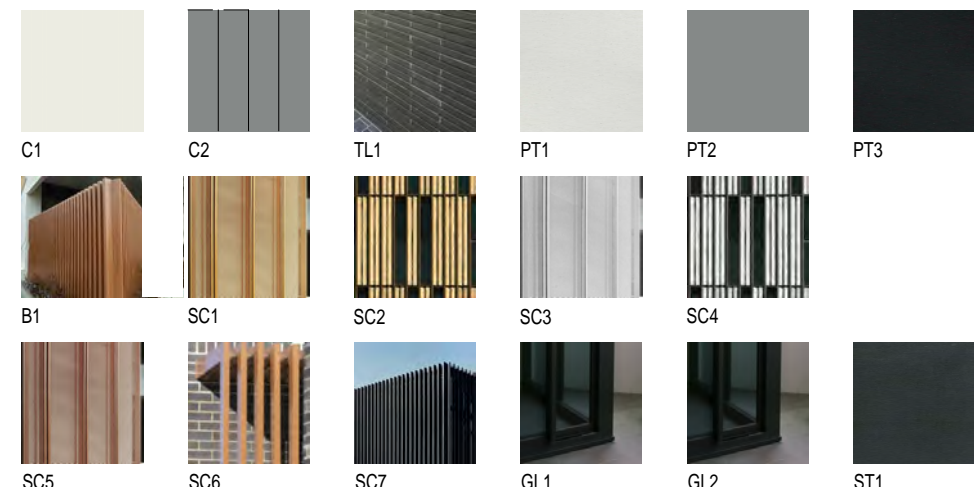
SC1 Aluminium perforated (gold finish)  
SC2 Aluminium solid (gold finish)  
SC3 Aluminium perforated (white finish)  
SC4 Aluminium solid (white finish)  
SC5 Aluminium perforated (bronze finish)  
SC6 Aluminium battens (gold finish)  
SC7 Aluminium battens (dark grey finish)

GLAZING

GL1 Clear glazing with aluminium frame (dark grey finish)  
GL2 Black Tinted glazing with aluminium frame (dark grey finish)

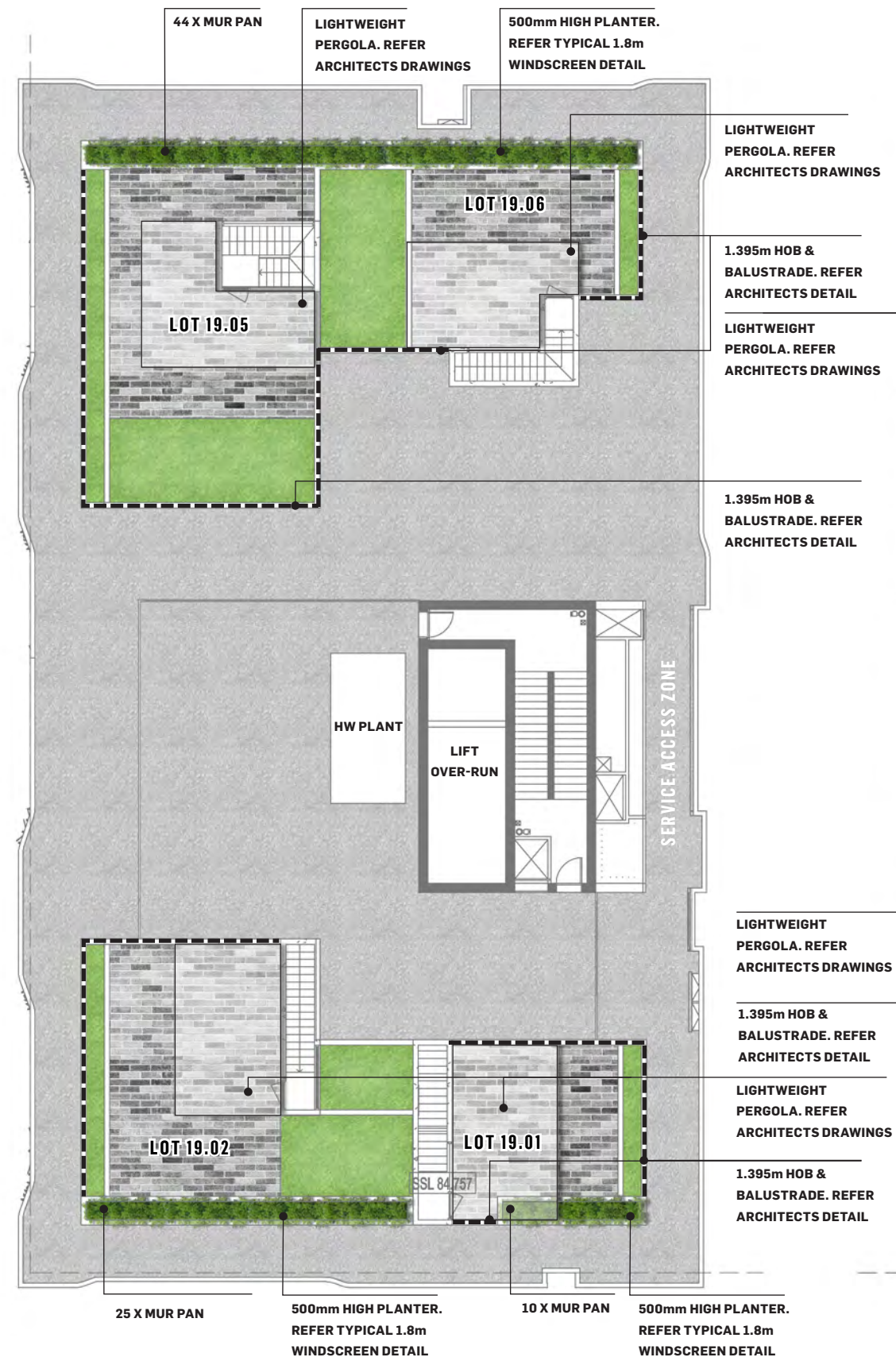
STEEL

ST1 Steel with micaceous paint finish or similar (black)

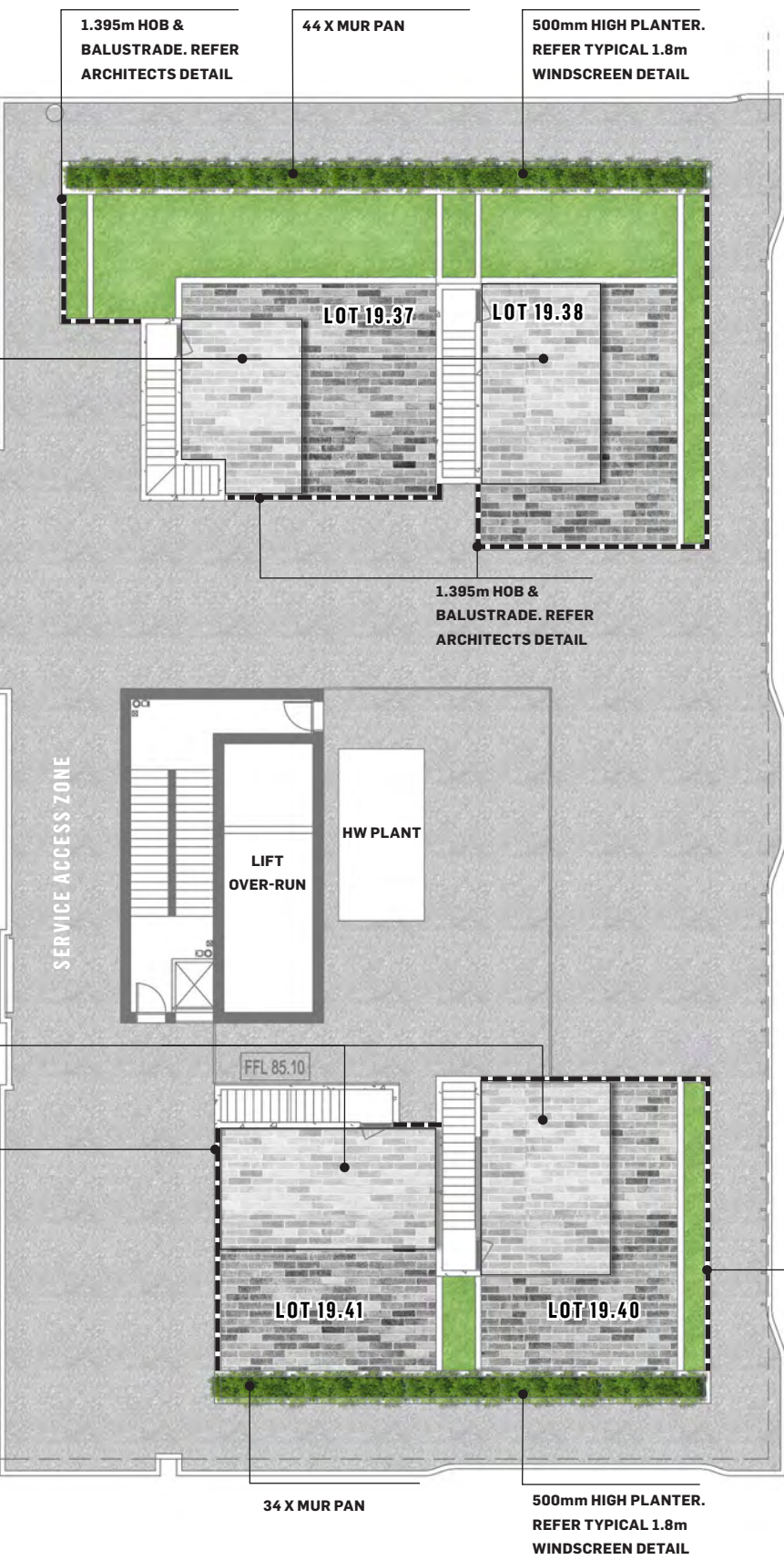




BUILDING A - PLAN

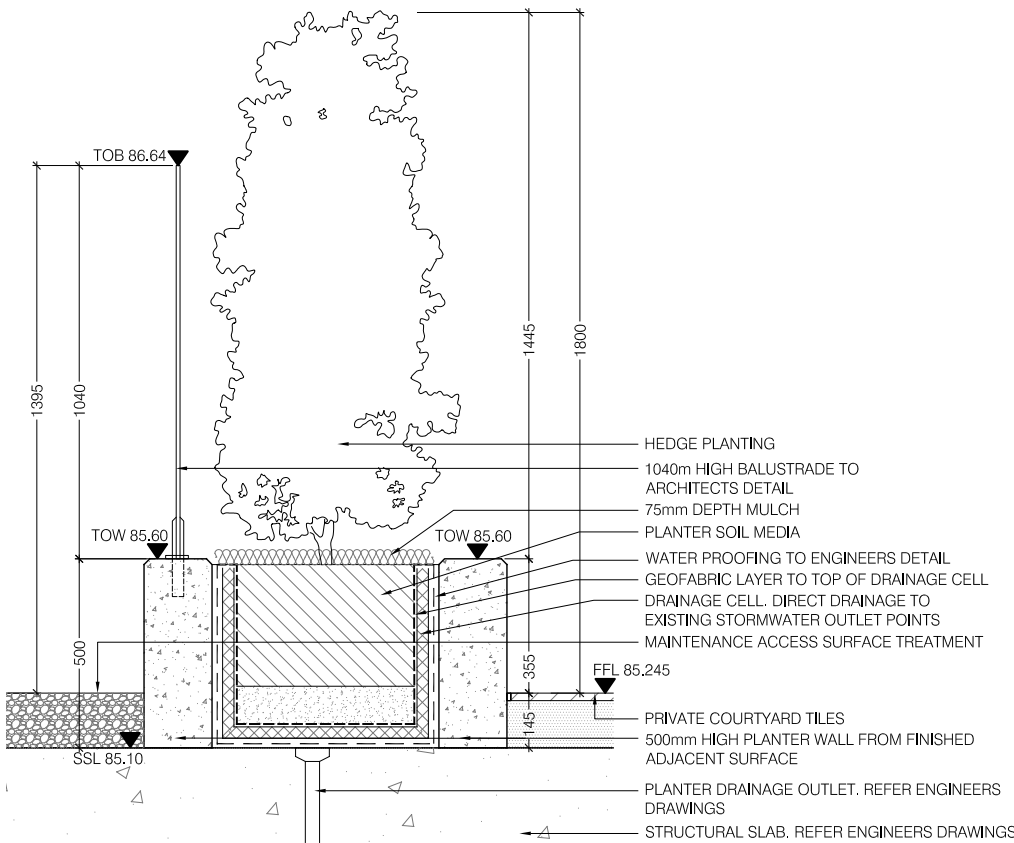


BUILDING D - PLAN



TYPICAL 1.8 M WINDSCREEN DETAIL

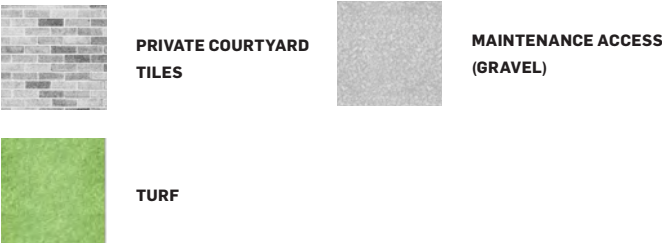
SCALE 1:20@A3



Plant Schedule

CODE	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	DENSITY / m <sup>2</sup>	QTY
MUR PAN	<i>Murraya paniculata</i>	Mock Orange	45L	3	157

LEGEND





BUILDING B - PLAN



BUILDING C - PLAN



TYPICAL PERGOLA DETAIL

SCALE 1:20@A3

